



RESOLUTION NO. 20200225-02

**RESOLUTION AUTHORIZING THE EXECUTIVE DIRECTOR/CEO TO EXECUTE A
CONSTRUCTION CONTRACT WITH REC-TXK, LLC FOR WAREHOUSE
IMPROVEMENTS TO 554 ELM CIRCLE, HOOKS, TX UPON THE TAC EAST CAMPUS**

WHEREAS, TexAmericas Center is a political subdivision of the State of Texas with the powers and authorities specified in Chapter 3503 of the Special District Local Laws Code of the State of Texas; and

WHEREAS, TexAmericas Center has sought, through a competitive process, bids for the project of warehouse improvements to 554 Elm Circle, Hooks, TX; and

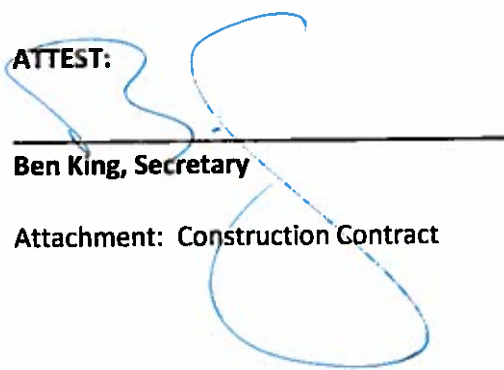
WHEREAS, REC-TXK, LLC has submitted a satisfactory proposal in the not to exceed amount of \$74,031.49 and committed to begin the project in a timely fashion; and

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of TexAmericas Center that the award to REC-TXK, LLC for the basic contract is approved and the Executive Director/CEO shall be and he is hereby authorized to award the construction contract as attached hereto.

PASSED and APPROVED this 25th day of February, 2020.


Boyd Sartin, Chairman of the Board

ATTEST:


Ben King, Secretary

Attachment: Construction Contract

TEXAMERICAS CENTER

CONSTRUCTION CONTRACT
(FIXED PRICE)

STATE OF TEXAS

COUNTY OF BOWIE

This contract and agreement is entered into by and between **TexAmericas Center**, hereinafter referred to as "Owner," and **REC-TXK, LLC**, hereinafter referred to as "Contractor," as follows:

I.
WORK TO BE DONE

The Contractor agrees to build, construct, erect and complete in a good and workmanlike manner, using new and unused materials only, and to provide all labor and materials required to do all things necessary for the proper construction and completion of the 554 Elm Circle Warehouse Improvements upon the property of Owner in accordance with the plans for the improvements dated February 7, 2020, with revisions on February 18, 2020 associated with Addendum #1 and February 20, 2020 associated with Addendum #2 & #3 and the quote attached hereto as Exhibit "A" and made a part hereof by reference for all purposes, "the Work".

II.
CONTRACT PRICE

2.01. As a consideration for this agreement, the Owner agrees to pay to Contractor for the construction of the above identified improvements, the sum of **\$74,031.39**.

2.02. Any changes to the plans and specifications, or work, shall be agreed to in writing only by Change Order executed by Owner and Contractor with an adjustment to the contract price as set forth in the Change Order.

2.03. The Owner shall pay to Contractor, the contract price as follows:

Monthly Draws on percentage of completion. All billings shall be submitted for review by TexAmericas Center Executive Vice President/Chief Operations Officer.

2.04. Notwithstanding the payment provisions set forth in paragraph 2.03, Owner shall retain 5 percent (5%) of the contract price for a period of thirty-one days after full completion of the contract, or until all lien claims have been resolved.

III. CONSTRUCTION TIME

3.01. Contractor agrees to build, construct and complete the above described improvements within 60 calendar days from the date hereof; provided, however, a reasonable allowance shall be made in the event delays occur because of unseasonably bad weather, strikes or inability to obtain materials and supplies over which the Contractor has no control.

3.02. CONTRACTOR and OWNER recognize that time is of the essence of this Agreement and that OWNER will suffer financial loss if the Work is not completed within the times specified herein, plus any extensions thereof allowed. The parties also recognize the delays, expense, and difficulties involved in proving in a legal or arbitration proceeding the actual loss suffered by OWNER if the Work is not completed on time. Accordingly, instead of requiring any such proof, OWNER and CONTRACTOR agree that as liquidated damages for delay (but not as a penalty), CONTRACTOR shall pay OWNER \$00.00 for each day that expires after the time specified for Completion until the Work is complete.

IV. DELIVERY OF MATERIALS & SUBCONTRACTS

Contractor will have materials used in the construction delivered to the site. TexAmericas Center is not responsible for lost or stolen materials. Contractor must provide the security necessary to ascertain that the materials remain at the site during their use.

4.01. Contractor may award subcontracts on such work as is not normally performed by Contractor; however, Contractor shall be fully responsible for the workmanship and the materials provided by Subcontractors.

4.02. In making payments to Subcontractors, the Contractor shall not make a final payment to a Subcontractor without receiving in writing a written release of any and all liens from the Subcontractor. In the event a Subcontractor gives notice to the Owner in accordance with the terms of the Texas Property Code that the Subcontractor is claiming a lien upon the improvements and/or property, Owner after receiving notice of the unpaid claim from the Subcontractor may withhold payment to the Contractor in an amount sufficient to cover the unpaid claim of the Subcontractor until the dispute is resolved and Owner is furnished evidence of the settlement of the dispute in writing from both the Contractor and Subcontractor. A list of all subcontractors to perform work on this project shall be submitted to TexAmericas Center prior to beginning of work.

V. PAYMENT AND PERFORMANCE BONDS

5.01. If the amount of this Contract is in excess of \$25,000.00, Contractor shall provide a payment bond payable to Owner in the amount of the contract. The bond must be provided prior to any performance of labor or delivery of materials.

5.02. If the amount of this Contract is in excess of \$100,000.00, Contractor agrees to provide a performance bond payable to Owner in the amount of the contract. The bond must be provided prior to any performance or labor or delivery of materials.

5.03. The bonds shall be provided in accordance with the requirements of Chapter 2253 of the Texas Government Code.

VI. HAZARD INSURANCE

Owner agrees to procure and keep in force at all times during the construction of the improvements herein agreed upon sufficient insurance upon the premises against loss or damage by fire and the perils of extended coverage.

VII. CONTRACTOR'S AND SUBCONTRACTOR'S INSURANCE

7.01. The Contractor shall not commence work under this contract until he has obtained all of the insurance required hereunder and such insurance has been approved by the Owner. Approval of the insurance by the Owner shall not relieve or decrease the liability of the Contractor hereunder. Certificates of insurance shall be provided to Owner evidencing the required coverages.

7.02. The Contractor shall take out and maintain during the life of this contract Statutory Worker's Compensation and Employer's Liability Insurance for all of his employees to be engaged in work on the project under this contract; and in case any such work is subcontracted, the Contractor shall either require the Subcontractors similarly to provide such insurance for all of the Subcontractor's employees to be engaged in such work, or Contractor will cover the employees of Subcontractors under his insurance policy.

7.03. The Contractor shall take out and maintain during the life of this contract such Bodily Injury and Property Damage Liability Insurance as shall protect it and any Subcontractor performing work covered by this contract for claims for damages for personal injury, including accident death, as well as from claims for property damage, which may arise from operations under this contract, whether such operations be by themselves or by Subcontractor or by anyone directly or indirectly employed by Contractor, and the amounts of such insurance shall not be less than:

- | | | |
|----|-----------------|---|
| A. | Bodily Injury | \$500,000.00 for any one person and
\$1,000,000.00 for any one accident. |
| B. | Property Damage | \$100,000.00 for any one accident and
\$300,000.00 for all accidents. |

C. Auto Liability	\$200,000.00 bodily injury per person
	\$500,000.00 bodily injury per occurrence
	\$100,000.00 property damage per occurrence

7.04. The Contractor shall take out and furnish to the Owner and maintain during the life of this contract, Builder's Risk Insurance in a sufficient amount to cover all materials against theft, loss or damage.

**VIII.
RECEIPTS AND RELEASES**

At completion, Contractor shall furnish Owner proper receipts and releases from any and all materialmen from whom any material is obtained by Contractor for use in said improvements, and from all Subcontractors to the end that no liens may be fixed upon said premises by a materialman or Subcontractor. Owner shall not be obligated to make final payment under the contract until said receipts and releases are furnished.

**IX.
RIGHT TO OFFSET**

If at any time there should be notice of any lien or claim for labor or materials furnished to Contractor, for which, if established, Owner, or the property, might become liable, though primarily chargeable to Contractor, Owner shall in such case have the right to retain out of any payment or payments then due or to become due on the contract amount such amounts as may be sufficient to completely indemnify Owner against said lien or claim.

**X.
ASSIGNMENT**

Part of the consideration and inducement offered to Owner for the execution of this agreement is the personal character, reputation, integrity, experience and ability of Contractor. For this reason, this contract may not be assigned by Contractor. In the event of death, or other disability, which prevents Contractor from personally managing, and participating in, Contractor's performance under this agreement, the Contractor, his personal representatives and successors shall not enter into any new subcontracts or continue construction without the written consent of Owner. As soon as practically possible after the occurrence of such a disabling event, Owner and Contractor, or Contractor's personal representatives or successors, shall meet to determine the action needed to complete construction. If Owner and Contractor have not been able to agree upon a course of action to complete construction within 15 days after the disabling event, Owner shall have the right to select a new Contractor to complete the construction, or to make demand upon the Performance Bond of Contractor for completion of Contract. In such event, Contractor, or his personal representatives or successors, shall execute such documents as necessary to assign this contract to the new Contractor selected by Owner or to the Surety on the Bond. In such case, Contractor shall be paid the Contractor's fee upon a prorated basis determined by the amount of the construction completed on the date of the disability.

**XI.
WARRANTY**

Contractor warrants the Work against all deficiencies and defects in materials and/or workmanship and that the Work shall be completed in accordance with the plans and specifications. Contractor agrees to satisfy its warranty obligations which appear within the warranty period without cost to the Owner. Unless otherwise specified in the plans and specifications, Contractor shall warrant the Work for a period of one (1) year from the date of final completion of the work and acceptance by Owner as evidenced by final payment of the contract amount to Contractor.

**XII.
CONTRACT EXECUTED BEFORE PERFORMANCE BEGUN**

This contract is executed, acknowledged, and delivered before labor has been performed and before any material has been furnished for the construction of the improvements.

**XIII.
MISCELLANEOUS**

13.01. Owner and Contractor agree to negotiate in good faith in an effort to resolve any dispute related to this agreement that may arise between them during the course of execution of the work. If the dispute cannot be resolved by negotiating, the dispute shall be submitted to mediation before resort to litigation. If the need for mediation arises, a mutually acceptable mediator shall be chosen by the parties to the dispute who shall share the cost of mediation services equally. During the negotiations and/or mediation of any dispute between the Owner and Contractor, execution of the work shall proceed unless the dispute relates to a design specification which prevents continuation of construction. Failure to pay a disputed invoice or charge until resolution of a dispute is not and shall not be a ground to suspend or terminate work.

13.02. It is expressly understood and agreed by and between Owner and Contractor that this agreement shall be governed by and its terms construed under the laws of the State of Texas. Any litigation arising out of this contract shall be filed in the District Court of Bowie County, Texas.

13.03. It is agreed that time shall be of the essence of this agreement and each and every provision hereof.

13.04. This agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, personal representatives, successors and permitted assigns.

13.05. In the event either of the respective parties hereto shall default in any of its covenants or obligations and the other party not in default commences legal or equitable action against the defaulting party, the defaulting party agrees to pay all reasonable expenses of litigation, negotiation and appeal, including a reasonable sum for attorney's fees.

EXECUTED this the 25 day of February, 2020.

OWNER:

TEXAMERICAS CENTER

By: 

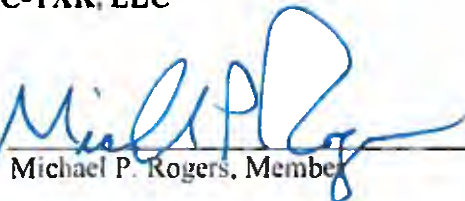
Scott Norton, Executive Director/CEO

Owner's Address:

TEXAMERICAS CENTER
107 Chapel Lane
New Boston, Texas 75570

CONTRACTOR:

REC-TXK, LLC

By: 

Michael P. Rogers, Member

Contractor's Address:
REC-TXK, LLC
100 Slaton Drive
Nash, Texas 75569

ATTACHMENTS:

Exhibit "A" - Plans and Specifications

BID TABULATION

Bids Due: Monday, February 24, 2020 @ 11:00 a.m.

Base Bid:		Quantity	Unit	Unit Price	Extended Price
Item No	Description				
1	Construction of Improvements as shown on the plans for the project dated February 7, 2020 and Addendum for the project (including all labor, materials, equipment and workmanship required), complete for the LUMP SUM price of <u>Seventy four thousand thirty one dollars and thirty nine cents.</u> Dollars.	1	LS	74,031.39	74,031.39
Total Base Bid					\$74,031.39

In the event a discrepancy exists between the written and numerical dollar value provided, the written value in the Description column will be TAC reserves the right to accept the Bid Tabulation for this project after the date listed above.

This is a Proposal of REC-TXK, LLC, a Corporation, organized and existing under the state of TEXAS, or a Partnership, consisting of N/A, or an Individual doing business as N/A.
(Seal and Authorization if Corporation)

BY: [Signature] MICHAEL P. ROGERS
MEMBER
(TITLE)
100 SLATON DR.
(STREET ADDRESS)
NASH TX 75569
(CITY AND STATE)

BY: [Signature]

AFFIX



Texas Sales and Use Tax Exemption Certification

This certificate does not require a number to be valid.

Name of purchaser, firm or agency TexAmericas Center	
Address (Street & number, P.O. Box or Route number) 107 Chapel Lane	Phone (Area code and number) 903-223-9841
City, State, ZIP code New Boston, TX 75570	

I, the purchaser named above, claim an exemption from payment of sales and use taxes (for the purchase of taxable items described below or on the attached order or invoice) from:

Seller: _____

Street address: _____ City, State, ZIP code: _____

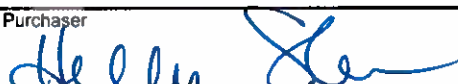
Description of items to be purchased or on the attached order or invoice:

Purchaser claims this exemption for the following reason:

GOVERNMENTAL ENTITY UNDER CHAPETER 151.309

I understand that I will be liable for payment of all state and local sales or use taxes which may become due for failure to comply with the provisions of the Tax Code and/or all applicable law.

I understand that it is a criminal offense to give an exemption certificate to the seller for taxable items that I know, at the time of purchase, will be used in a manner other than that expressed in this certificate, and depending on the amount of tax evaded, the offense may range from a Class C misdemeanor to a felony of the second degree.

Purchaser sign here 	Title Controller	Date 1/23/19
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NOTE: This certificate cannot be issued for the purchase, lease, or rental of a motor vehicle.

THIS CERTIFICATE DOES NOT REQUIRE A NUMBER TO BE VALID.

Sales and Use Tax "Exemption Numbers" or "Tax Exempt" Numbers do not exist.

This certificate should be furnished to the supplier. Do not send the completed certificate to the Comptroller of Public Accounts.

ADDENDUM #1

February 19, 2020

552 Elm Circle Warehouse Improvements
TAC Project No. 20-30-008

TexAmericas Center (TAC) is providing the following information as ADDENDUM #1 in order to provide additional information concerning the Warehouse Improvements to the warehouse located at 554 Elm Circle, Hooks, Texas in Area D on the TAC East Campus:

1. TAC will be installing a 3-phase, 400 amp service to the building. A new panel will be installed in the IT Closet and a stepdown transformer will be installed on the platform to be constructed above the IT closet. Contractor to provide a deck capable of supporting the transformer and technicians required for any service or maintenance.
2. As a part of this project, the contractor should install a 3-ton AC unit to serve the new improvements shown.
3. As a point of clarification, while TAC is in the process of installing power to the building, the contractor may be required to utilize a generator to power equipment.
4. TAC is in the process of constructing a new 8-inch wastewater main south of the building on the south side of the railroad tracks with a main extended between 554 & 556 Elm Circle. Contractor to connect sewer service for this project to the new main.
5. A cleanout shall be installed at the most upstream end of the sewer service installed in the building.
6. A bid tab for the project is included in this Addendum.
7. As a point of clarification, included in this project will be the construction of two (2) wooden landings, one at each of the new man doors installed on the front of the building. Landings shall be similar to those installed at 556 Elm Circle.
8. As a point of clarification, the ceiling in the offices shall be 2X4 lay-in (drop) ceilings. The IT closet shall have a painted sheetrock ceiling.
9. All lights rooms will be 2X4 LED lay-in lights. The light in the IT closet will be a ceiling mounted LED light.
10. Vinyl base to be utilized in the rooms.
11. The exterior doors are to be dark brown similar to the color utilized at 556 Elm Circle.
12. TAC will take care of replacing broken or missing window panes prior to construction. Panes broken during construction will be the responsibility of the contractor to replace.
13. No requirements for Wage Rates. Contractor shall provide Workers Compensation Insurance.
14. As a point of clarification, contractor to install a studwall in the office, breakroom and restroom adjacent to existing block wall of the building. Contractor to fill all voids between blocks, if any, with silicone caulk.
15. As a point of clarification, the wall separating the bathroom from the IT closet shall be 6" thick.
16. The exterior wall of the IT closet can remain a block wall. Contractor to fill all voids, if any, with silicone caulk.

17. Drop ceilings shall be insulated.
18. TAC has no minimum seal height for the windows.
19. Emergency lighting to be placed with each of the four (4) man doors installed on this building.
20. As a point of clarification, TAC will not be installing any flooring as part of this project.
21. 1X4 trim is acceptable on the bottom of the exterior walls, at corners and around the windows.
22. All doors, six (6) OHD and four (4) man doors shall be sealed with appropriate weather stripping.
23. Four (4) hollow metal doors, two (2) right hand outswing, two (2) left hand outswing. Refer to plans for layout.
24. The sprinkler riser room has already been removed.
25. See revised plans for addition of plumbing fixtures.
26. A Bid Bond will be required for this project. All other bonds required for this contract shall be included in the base bid price.
27. A sample contract is included in this Addendum. The successful contractor will be required to execute a similar contract for this project.

As a reminder, bids are due by Monday February 24, 2020 at 11:00 a.m. at the offices of TexAmericas Center located at 107 Chapel Lane, New Boston, TX 75570 or via email at jeff.whitten@texamericascenter.com. Bids will be opened and read aloud at that date and time.

IN YOUR BID SUBMITTAL, PLEASE INCLUDE ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM #1.

Any additional questions should be directed to Jeff Whitten, P.E., Executive Vice President/Chief Operations Officer, via e-mail at jeff.whitten@texamericascenter.com

ADDENDUM #2

February 20, 2020

552 Elm Circle Warehouse Improvements
TAC Project No. 20-30-008

TexAmericas Center (TAC) is providing the following information as ADDENDUM #1 in order to provide additional information concerning the Warehouse Improvements to the warehouse located at 554 Elm Circle, Hooks, Texas in Area D on the TAC East Campus:

1. A ten foot (10') room is required to house the fire sprinkler pump associated with the dry fire sprinkler system being installed under a separate contract. The room will require a 1-hour fire rating. A set of outswing double doors will be required. The ceiling will be drywall similar to the IT closet with the required fire rating and with a ceiling mount LED light fixture. Walls will be painted white and the exterior wall can remain the existing exposed block. Revised plans are enclosed for updating and revising bids as required.
2. Contractor shall provide a lockable enclosure around the AC unit placed outside of the building.

As a reminder, bids are due by Monday February 24, 2020 at 11:00 a.m. at the offices of TexAmericas Center located at 107 Chapel Lane, New Boston, TX 75570 or via email at jeff.whitten@texamericascenter.com. Bids will be opened and read aloud at that date and time.

IN YOUR BID SUBMITTAL, PLEASE INCLUDE ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM #1 AND ADDENDUM #2.

Any additional questions should be directed to Jeff Whitten, P.E., Executive Vice President/Chief Operations Officer, via e-mail at jeff.whitten@texamericascenter.com

ADDENDUM #3

February 20, 2020

552 Elm Circle Warehouse Improvements
TAC Project No. 20-30-008

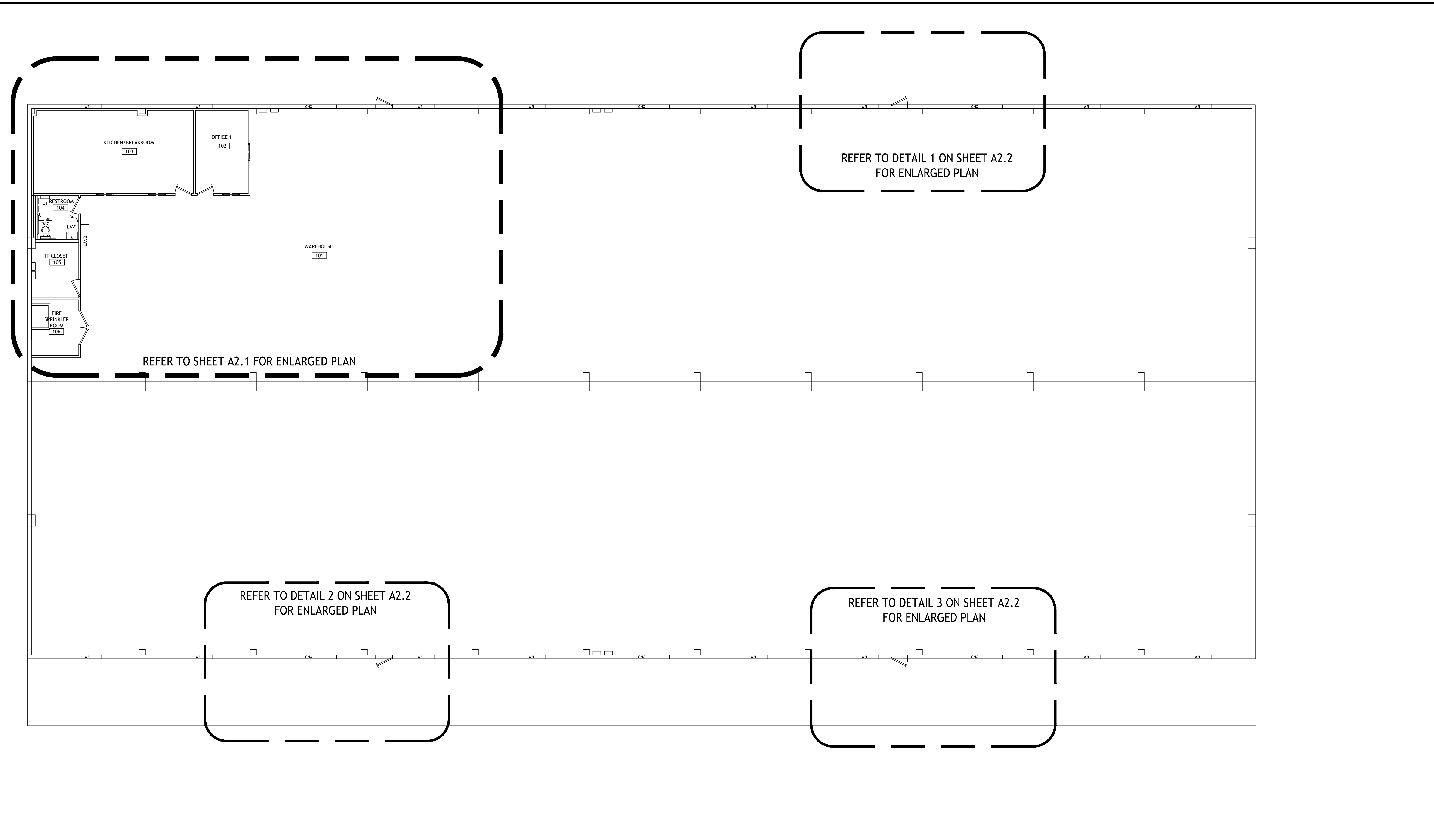
TexAmericas Center (TAC) is providing the following information as ADDENDUM #1 in order to provide additional information concerning the Warehouse Improvements to the warehouse located at 554 Elm Circle, Hooks, Texas in Area D on the TAC East Campus:

1. The plans currently call for OSB to be utilized at the exterior of the offices that face the warehouse. That material was specified in error on the part of TAC. The material to be utilized on the exterior of the offices should be 3/8" T-111 siding with 4" grooves.

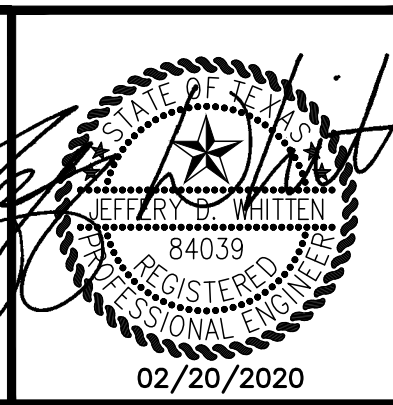
As a reminder, bids are due by Monday February 24, 2020 at 11:00 a.m. at the offices of TexAmericas Center located at 107 Chapel Lane, New Boston, TX 75570 or via email at jeff.whitten@texamericascenter.com. Bids will be opened and read aloud at that date and time.

IN YOUR BID SUBMITTAL, PLEASE INCLUDE ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM #1, ADDENDUM #2 & ADDENDUM #3.

Any additional questions should be directed to Jeff Whitten, P.E., Executive Vice President/Chief Operations Officer, via e-mail at jeff.whitten@texamericascenter.com



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JEFFERY D. WHITTEN, P.E. 84039 ON 02/20/2020. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



107 CHAPEL LANE
 NEW BOSTON, TEXAS 75570
 903.223.9841
www.TexAmericasCenter.com

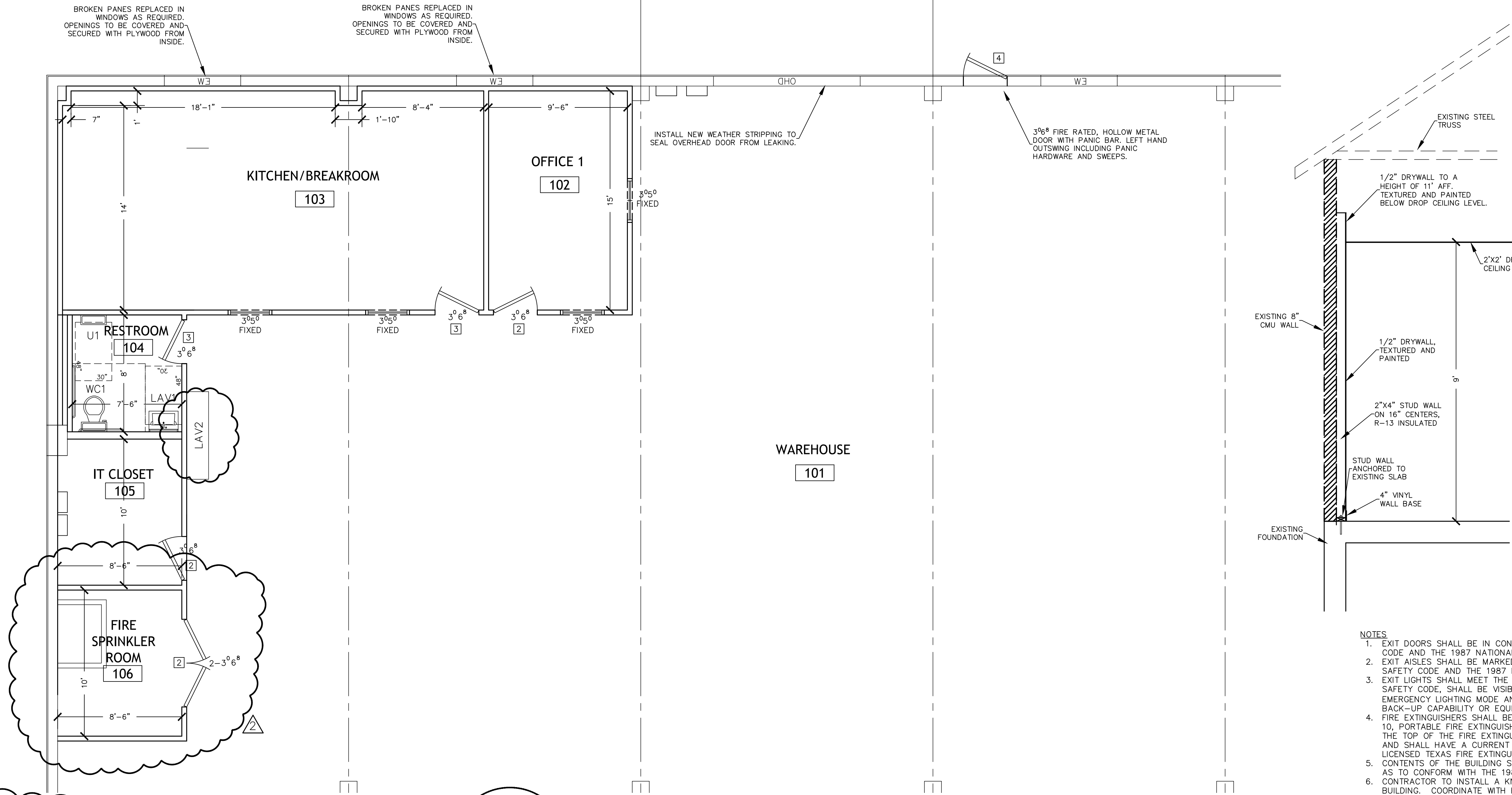
TexAmericas CENTER
 Texarkana USA

DRAWN: JDW	DESIGN: JDW	DATE:	SCALE: 1/8"=1' - FULL 1/16"=1' - HALF	JOB #:
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OVERALL BUILDING LAYOUT
 AREA D WAREHOUSE RENOVATIONS
 554 ELM CIRCLE
 TEXAMERICAS CENTER - EAST CAMPUS
 CITY OF HOOKS, TEXAS

SHEET NO:
A1.1

DWG NO:



- NOTES**
- EXIT DOORS SHALL BE IN CONFORMANCE WITH THE 1985 LIFE SAFETY CODE AND THE 1987 NATIONAL FIRE CODE.
 - EXIT AISLES SHALL BE MARKED IN CONFORMANCE WITH THE 1985 LIFE SAFETY CODE AND THE 1987 NATIONAL FIRE CODE.
 - EXIT LIGHTS SHALL MEET THE REQUIREMENTS OF NFPA 101, LIFE SAFETY CODE, SHALL BE VISIBLE IN WITH THE NORMAL AND EMERGENCY LIGHTING MODE AND SHALL HAVE A 1 1/2-HOUR BATTERY BACK-UP CAPABILITY OR EQUIVALENT.
 - FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCORDANCE WITH NFPA 10, PORTABLE FIRE EXTINGUISHERS, SHALL BE MOUNTED SUCH THAT THE TOP OF THE FIRE EXTINGUISHER IS 3-5 FEET ABOVE THE FLOOR AND SHALL HAVE A CURRENT INSPECTION TAG CERTIFIED BY A LICENSED TEXAS FIRE EXTINGUISHER COMPANY.
 - CONTENTS OF THE BUILDING SHALL BE ORIENTED IN SUCH A MANNER AS TO CONFORM WITH THE 1985 LIFE SAFETY CODE.
 - CONTRACTOR TO INSTALL A KNOX BOX AT THE MAIN ENTRY OF THE BUILDING. COORDINATE WITH FIRE DEPARTMENT FOR SIZE AND LOCATION.

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR		WALLS			CEILING				REMARKS
		MAT'L	FINISH	MAT'L	FINISH	FINISH INFO	MAT'L	HEIGHT	FINISH	FINISH INFO	
101	WAREHOUSE	CONC.	NA	NA	PAINT	PPG BATTLESHIP GREY	OSB	EXIST.	PAINT	PPG BATTLESHIP GREY	EXTERIOR WALLS OF NEW CONSTRUCTION
102	OFFICE 1	CONC.	NA	D.W.	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	D.W.	9'-0"	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	
103	KITCHEN/BREAKROOM	CONC.	NA	M.R.D.W.	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	M.R.D.W.	9'-0"	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	
104	RESTROOM	CONC.	NA	M.R.D.W.	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	M.R.D.W.	9'-0"	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	
105	IT CLOSET	CONC.	NA	OSB	PAINT	PPG BATTLESHIP GREY	OSB	9'-0"	PAINT	PPG BATTLESHIP GREY	
106	FIRE SPRINKLER ROOM	CONC.	NA	OSB	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	OSB	9'-0"	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	

ABBREVIATIONS

H.M.	HOLLOW METAL	CT	CERAMIC TILE
S & V	STAIN & VARNISH	M.R.D.W.	MOISTURE RESISTANT DRYWALL
ALUM.	ALUMINUM	WT	WALL TILE
ANOD.	ANODIZED	VWC	VINYL WALL COVERING
D.W.	DRYWALL	A.C.T.	ACOUSTICAL CEILING TILE
VCT	VINYL COMPOSITION TILE		

DOOR SCHEDULE

DOOR No.	QUANTITY	SIZE	DETAILS
1	2	3'-0" x 6'-8"	HOLLOW METAL WITH PANIC BAR, LEFT HAND OUTSWING
2	2	3'-0" x 6'-8"	WOOD DOOR, RIGHT HAND SWING
3	2	3'-0" x 6'-8"	WOOD DOOR, LEFT HAND SWING
4	2	3'-0" x 6'-8"	HOLLOW METAL WITH PANIC BAR, LEFT RIGHT OUTSWING
5	1	DBL 3'-0" x 6'-8"	WOOD DOOR

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JEFFERY D. WHITTEN, P.E. 84039 ON 02/20/2020. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

REVISD 02.18.2020
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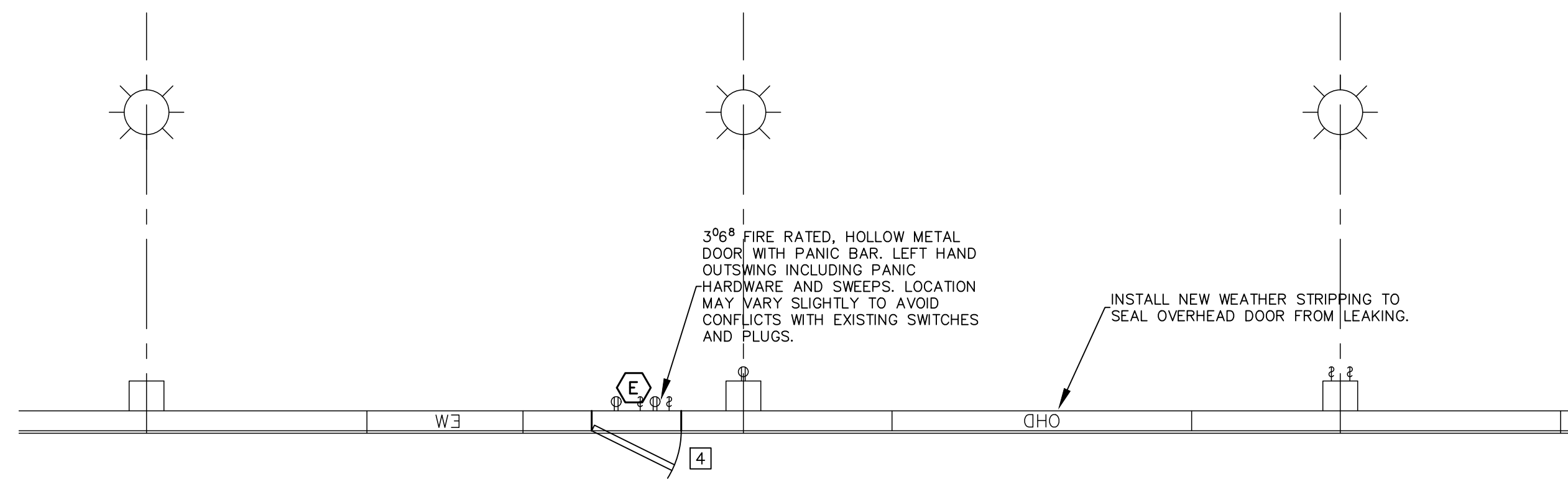
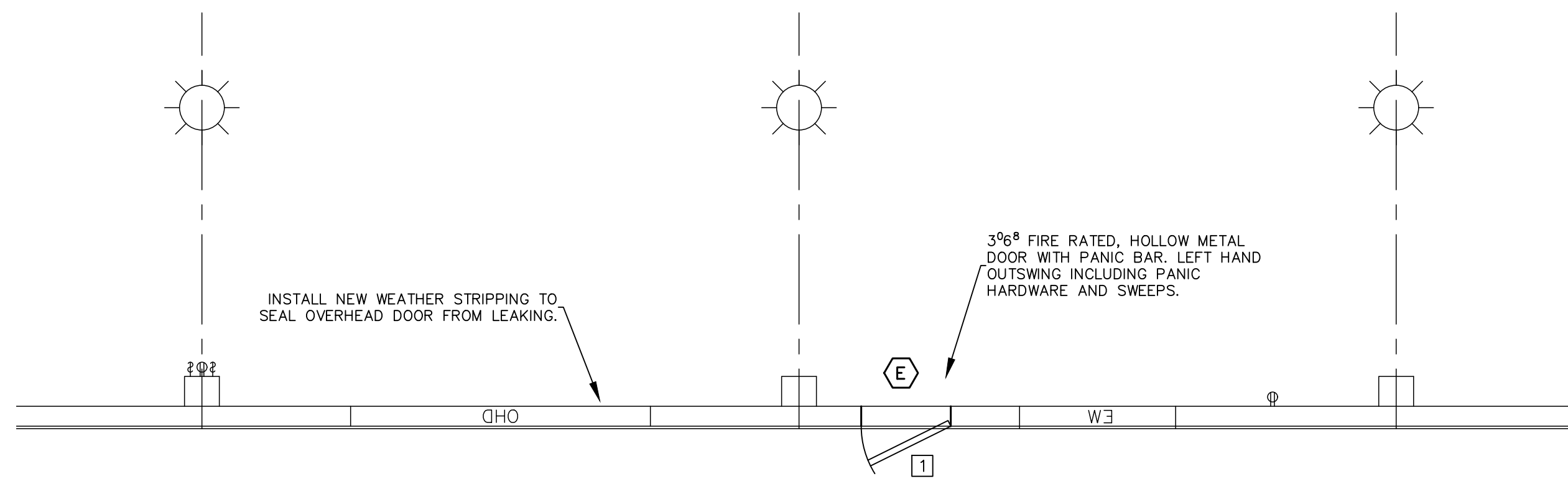
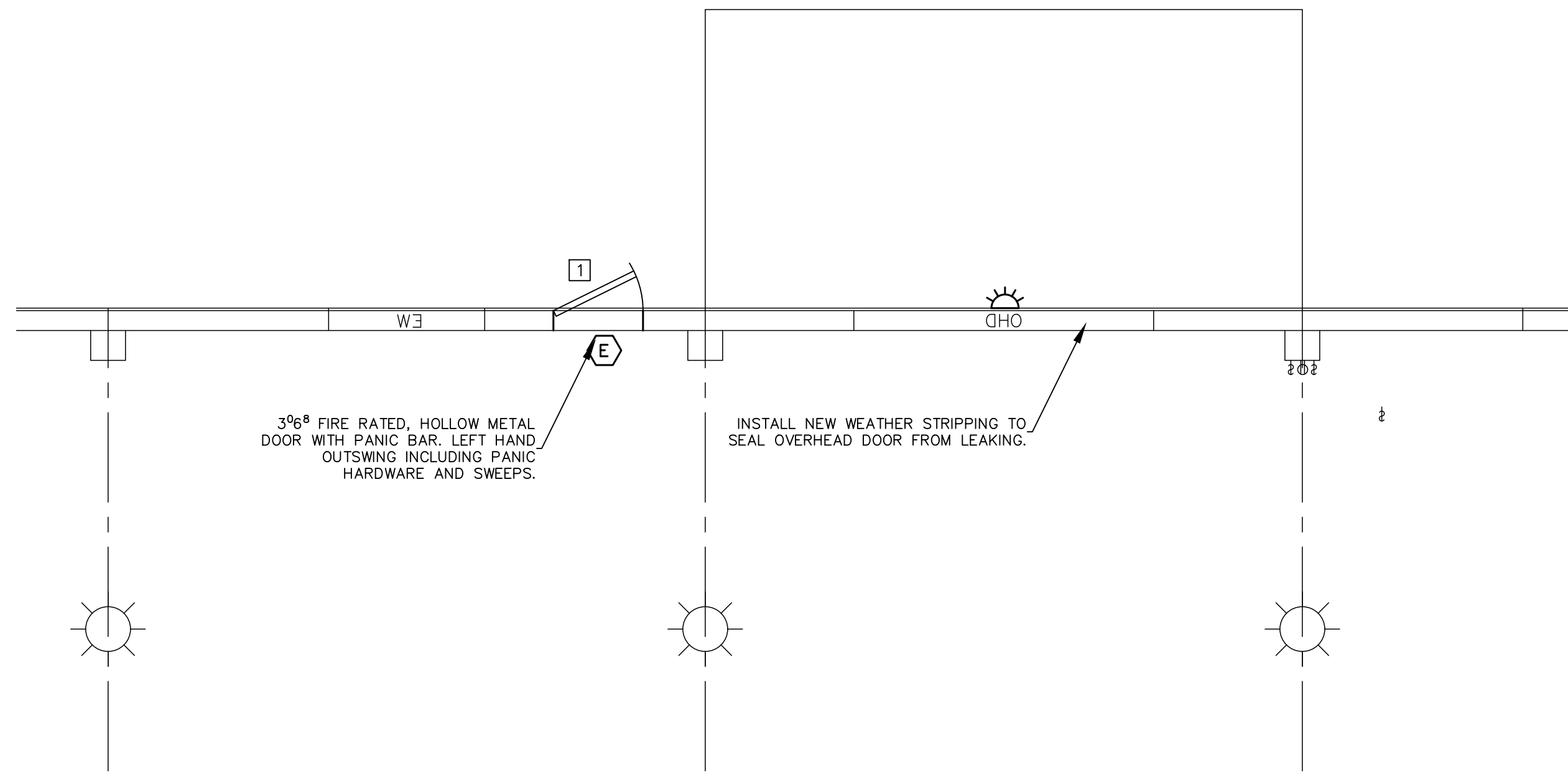
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1/8"=1' - HALF

DRAWN: JDW DESIGN: JDW DATE: JOB #:

ENLARGED FLOOR PLAN
AREA D WAREHOUSE RENOVATIONS
554 ELM CIRCLE
TEXAMERICAS CENTER - EAST CAMPUS
CITY OF HOOKS, TEXAS

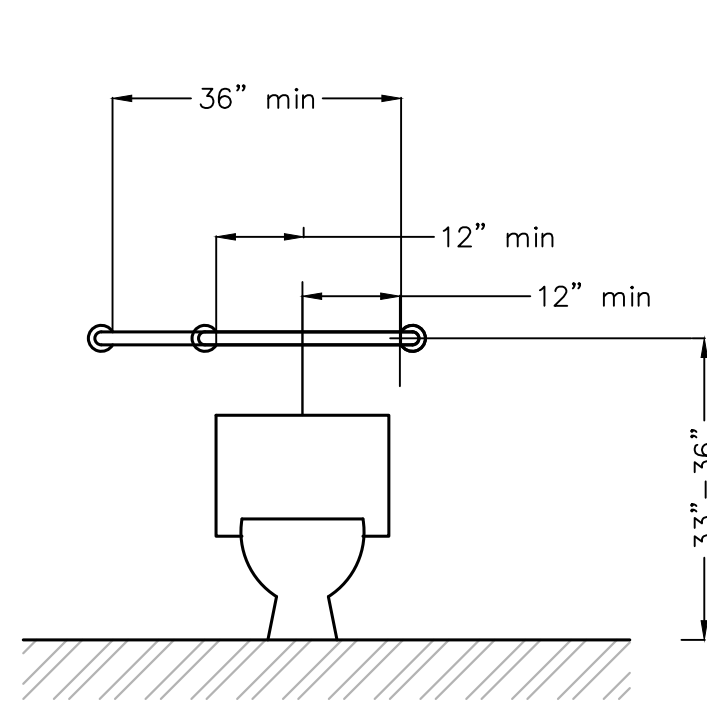
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DWG NO:

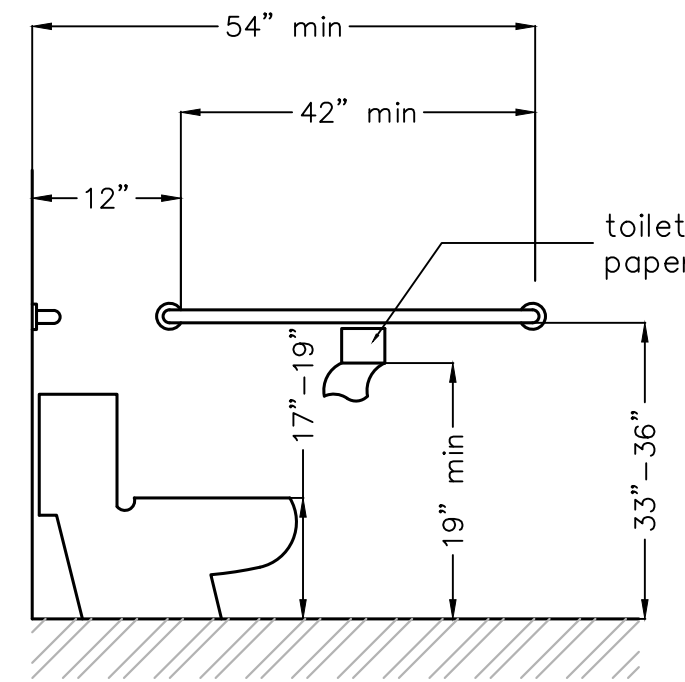


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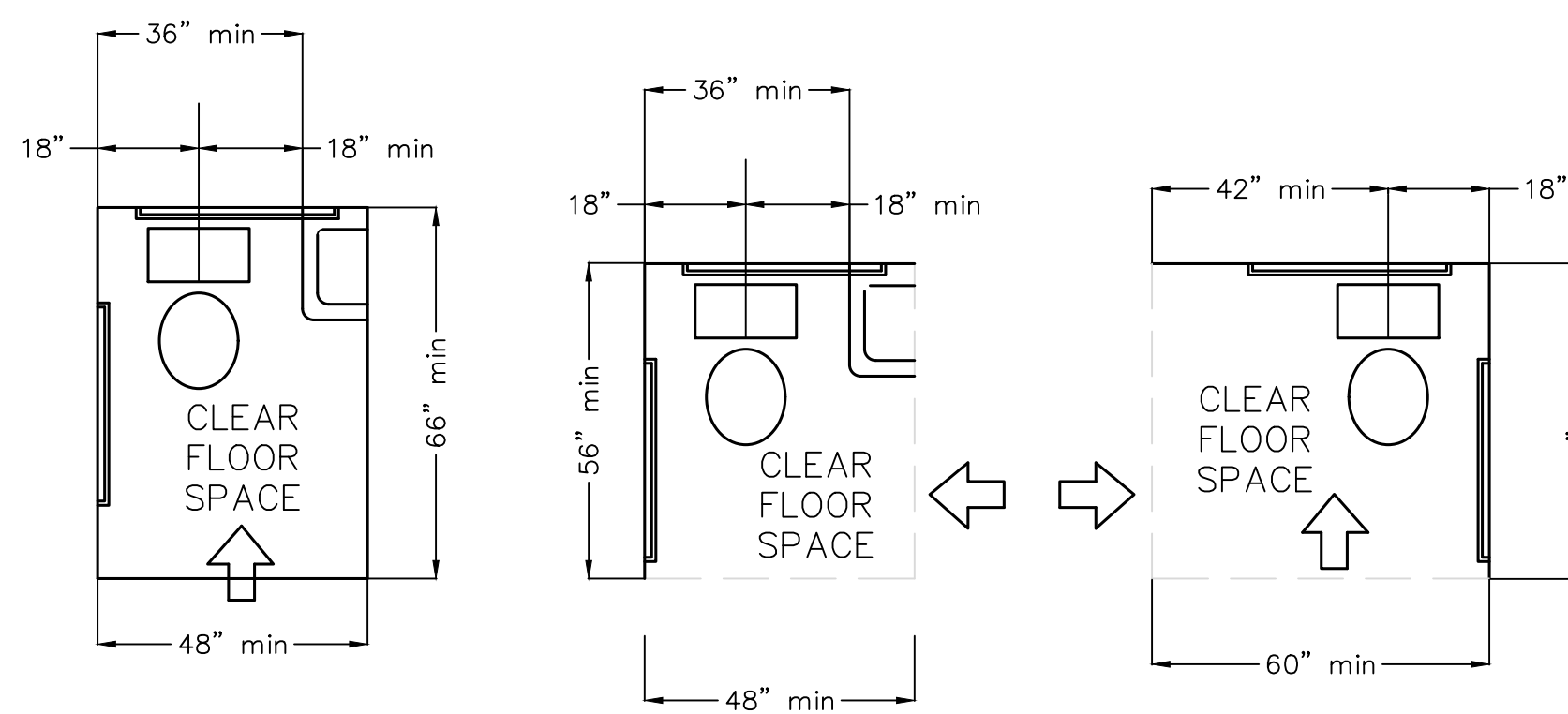


(a)
BACK WALL

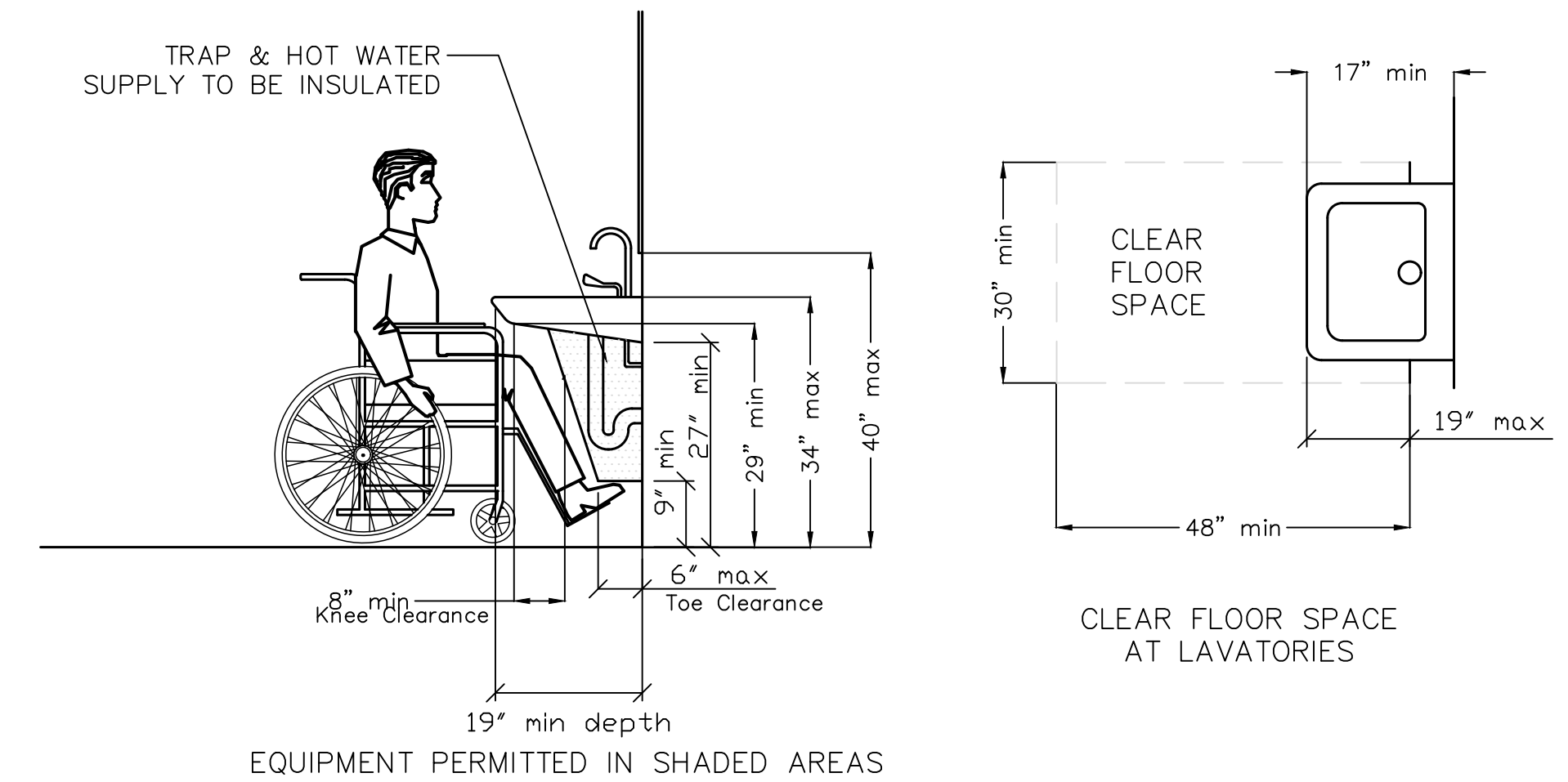


(b)
SIDE WALL

NOTE: FLUSH LEVER TO BE AT WIDE SIDE FOR TANK TYPE WATER CLOSETS. FLUSH VALVES TO BE 44" AFF OR LESS ALSO MOUNTED ON WIDE SIDE.



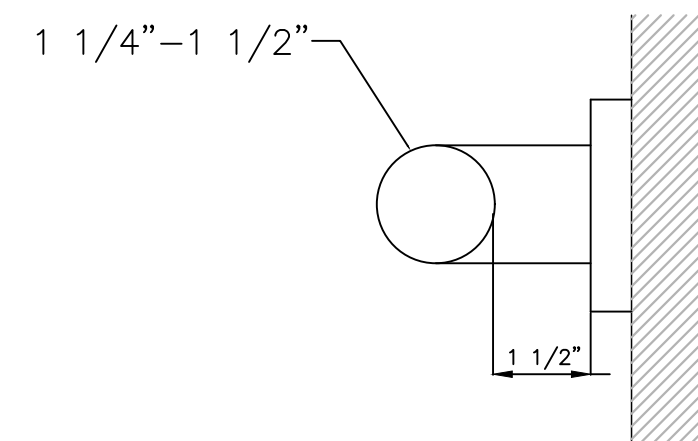
CLEAR FLOOR SPACE AT WATER CLOSETS
DETAIL "B"



LAVATORY CLEARANCES
DETAIL "C"

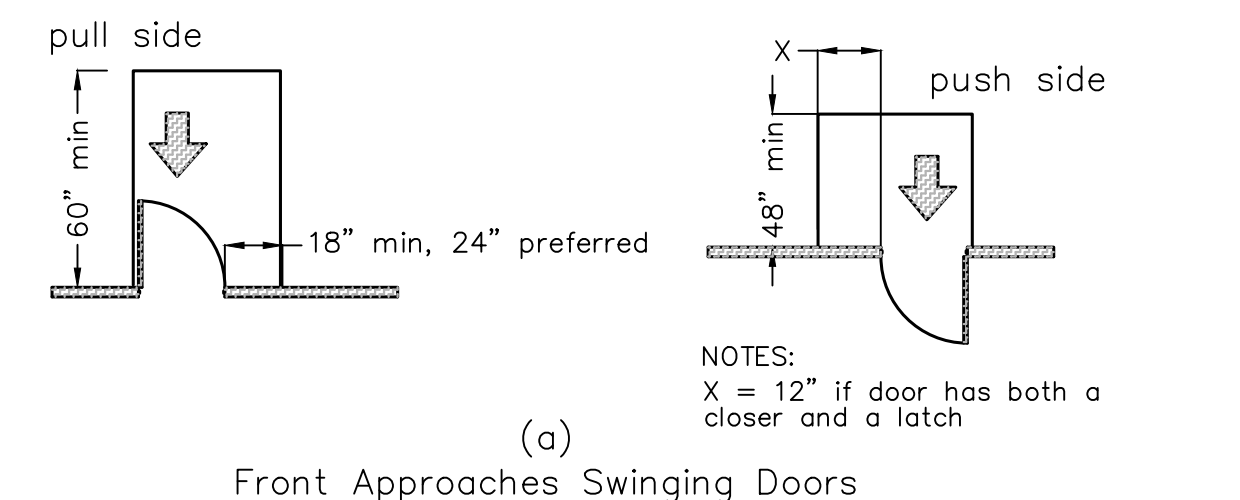
1. MAXIMUM CABINET HEIGHT OF SINK COUNTERS SHALL BE 34". A MINIMUM OF 36" OF COUNTER LENGTH IN ADDITION TO THE SINK MUST BE PROVIDED AT 34" AFF UNLESS COUNTER IS LESS THAN 36" IN LENGTH.
2. SINK DEPTH SHALL NOT EXCEED 6-1/2"

GRAB BARS AT WATER CLOSETS
DETAIL "A"

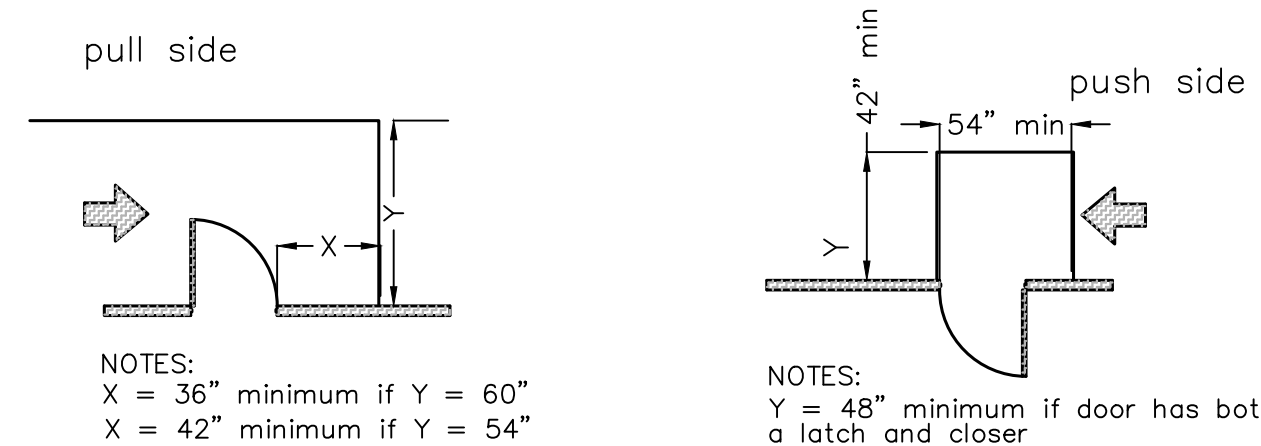


1. GRAB BARS SHALL BE CAPABLE OF SUSTAINING 250 POUND LOAD WITHOUT FAILURE.
2. FASTENERS SHALL ALSO BE CAPABLE OF SAME LOAD APPLIED WITHOUT FAILURE OR DISTORTION.
3. GRAB BARS SHALL NOT ROTATE IN THEIR FITTINGS.

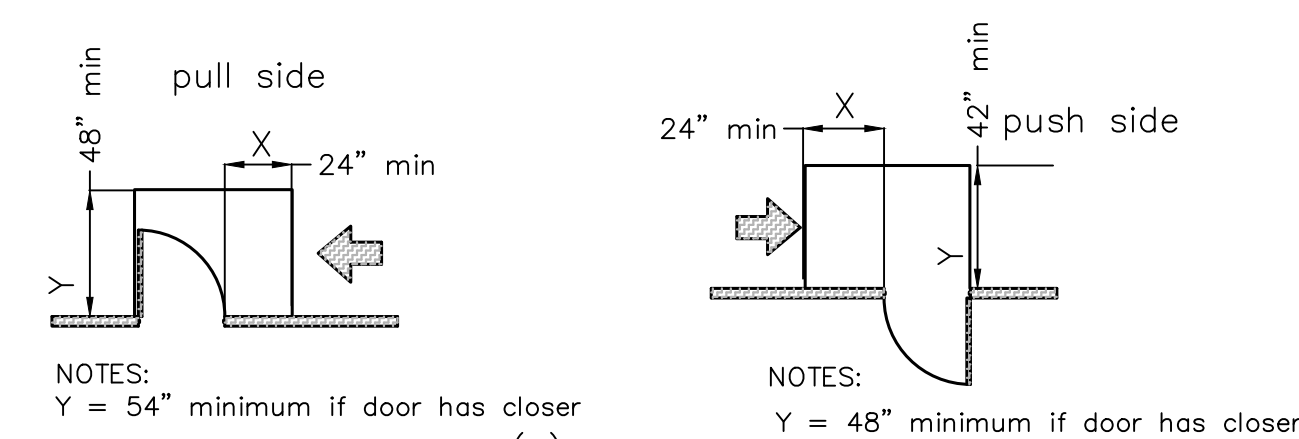
GRAB BAR DETAILS
DETAIL "D"



(a)
Front Approaches Swinging Doors



(b)
Hinge Side Approaches - Swinging Doors



(c)
Latch Side Approaches - Swinging Doors

NOTES:
All doors in alcoves shall comply with the clearances for front approaches

MANEUVERING CLEARANCES AT DOORS
DETAIL "E"

4.24 Sinks.

4.24.1 General.

(1) Sinks required to be accessible by 4.1 shall comply with 4.24.

(2) For mounting heights and faucet reach-ranges suitable in schools and other facilities used primarily by children see section 2.1.1.

4.24.2 Height. Sinks shall be mounted with the counter or rim no higher than 34 in (865 mm) above the finish floor.

4.24.3 Knee Clearance. Knee clearance that is at least 27 in (685 mm) high, 30 in (760 mm) wide, and 19 in (485 mm) deep shall be provided underneath sinks.

4.24.4 Depth. Each sink shall be a maximum of 6-1/2 in (165 mm) deep.

4.24.5 Clear Floor Space. A clear floor space at least 30 in by 48 in (760 mm by 1220 mm) complying with 4.2.4 shall be provided in front of a sink to allow forward approach. Sinks installed in alcoves deeper than 24 in require additional maneuvering area (see Figure 4(e)). The clear floor space shall be on an accessible route and shall extend a maximum of 19 in (485 mm) underneath the sink (see Fig. 32).

4.24.6 Exposed Pipes and Surfaces. Hot water and drain pipes exposed under sinks shall be insulated or otherwise configured so as to protect against contact. There shall be no sharp or abrasive surfaces under sinks.

4.24.7 Faucets. Faucets shall comply with 4.27.4. Lever-operated, push-type, touch-type, or electronically controlled mechanisms are acceptable designs.

4.25 Storage.

ADDITIONAL NOTES FOR SINKS
DETAIL "F"

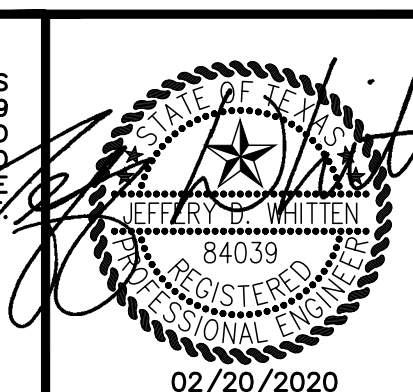
SCHEDULE OF DETAILS

DETAIL NO	DESCRIPTION
A	GRAB BARS @ WATER CLOSETS
B	CLEAR FLOOR SPACE @ WC
C	LAVATORY CLEARANCES
D	GRAB BAR DETAILS
E	MANEUVERING CLEARANCES AT DOORS
F	ADDITIONAL NOTES FOR SINKS

NOTES:

1. THRESHOLDS TO HAVE 1/4" MAX HEIGHT UNLESS 1/4" BEVEL IS CUT - THEN 1/2" HEIGHT OKAY
2. RECEPTACLES 15" AFF TO BOTTOM OF BOX
3. SWITCHES 48: AFF TO TOP OF BOX

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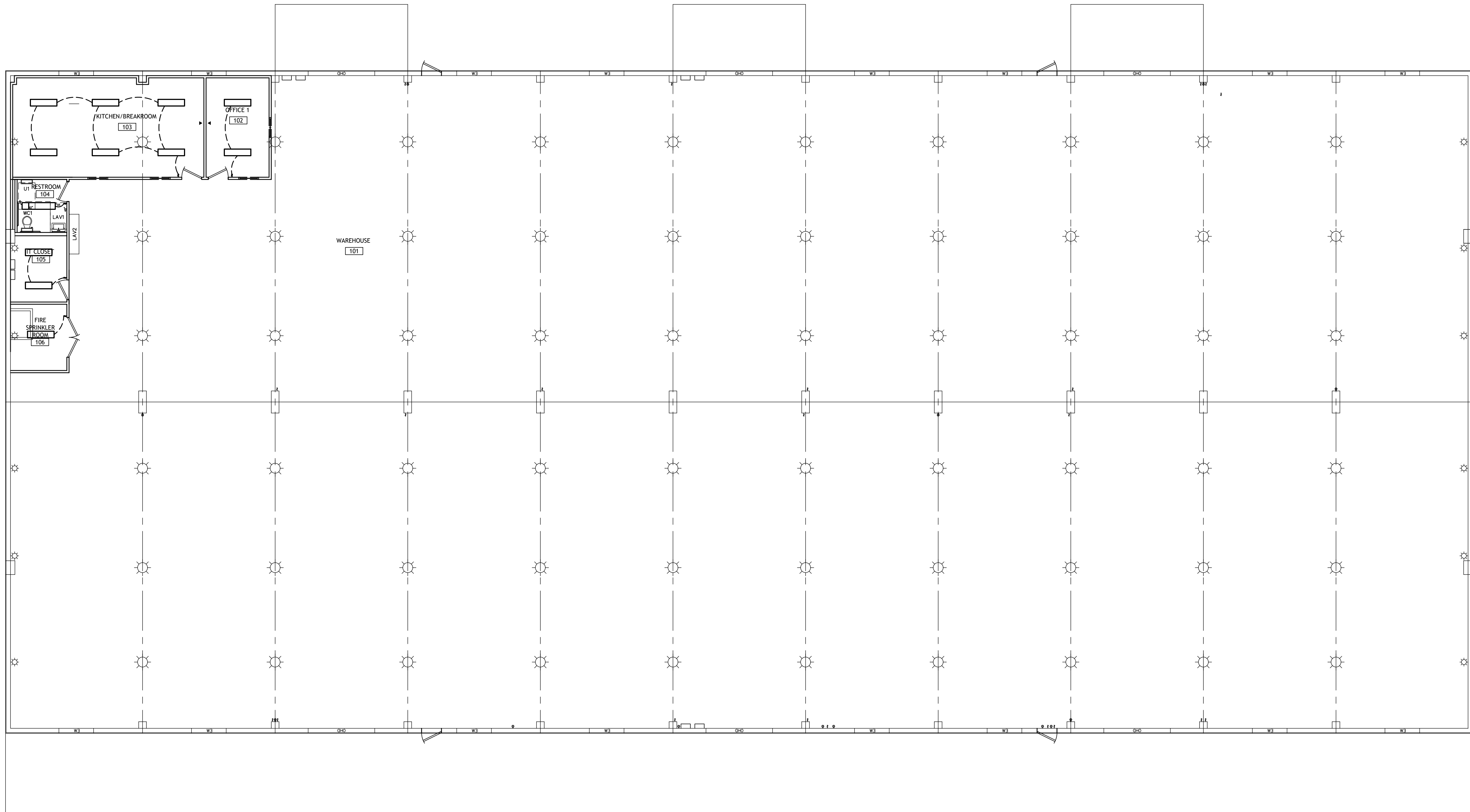
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ACCESSIBILITY DETAILS
AREA D WAREHOUSE RENOVATIONS
554 ELM CIRCLE
TEXAMERICAS CENTER - EAST CAMPUS
CITY OF HOOKS, TEXAS

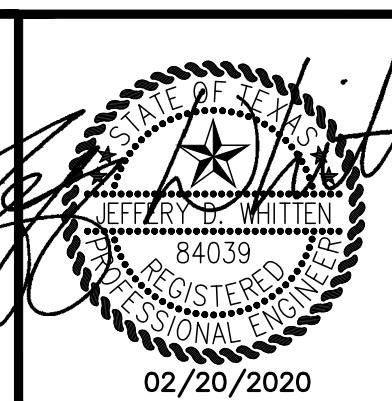
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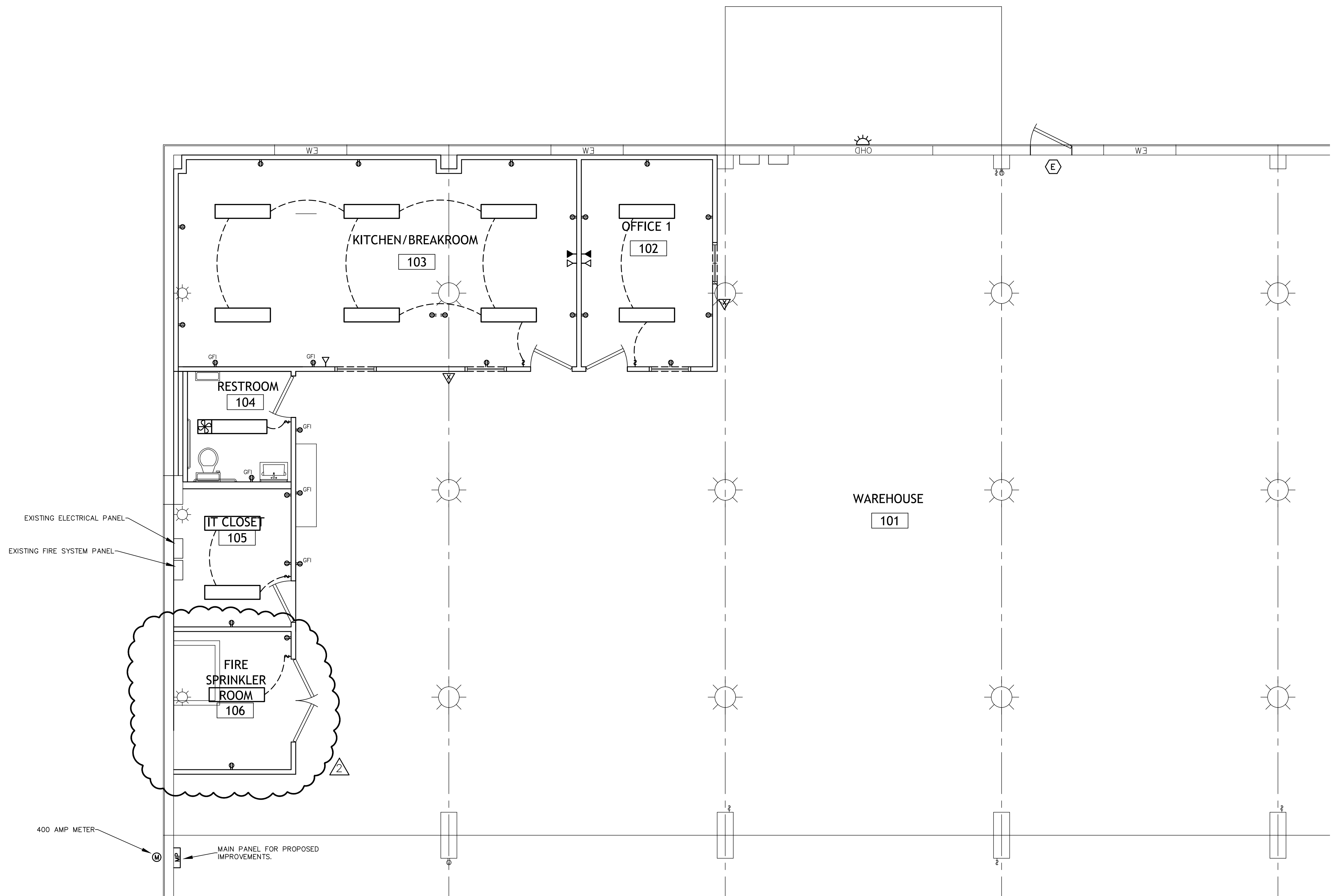


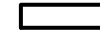










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OVERALL ELECTRICAL EXHIBIT
 AREA D WAREHOUSE RENOVATIONS
 554 ELM CIRCLE
 TEXAMERICAS CENTER - EAST CAMPUS
 CITY OF HOOKS, TEXAS

SHEET NO:
E1.1

DWG NO:



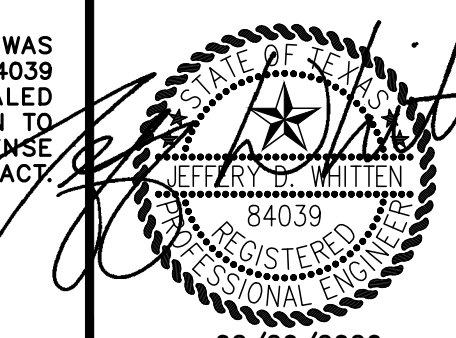

-  1'x4' FLUSH MOUNT, 115V, 2 BULB
-  TELEPHONE JACK
-  IT PLUG
-  WALL PACK, 400W, 115V PHOTO-CELL OPERATED
-  EMERGENCY LIGHTS
-  EXIT LIGHTS
-  MAIN PANEL
-  DUPLEX OUTLET
-  SWITCH
-  ELECTRIC METER
-  EXHAUST FAN

EXISTING ELECTRICAL PANEL

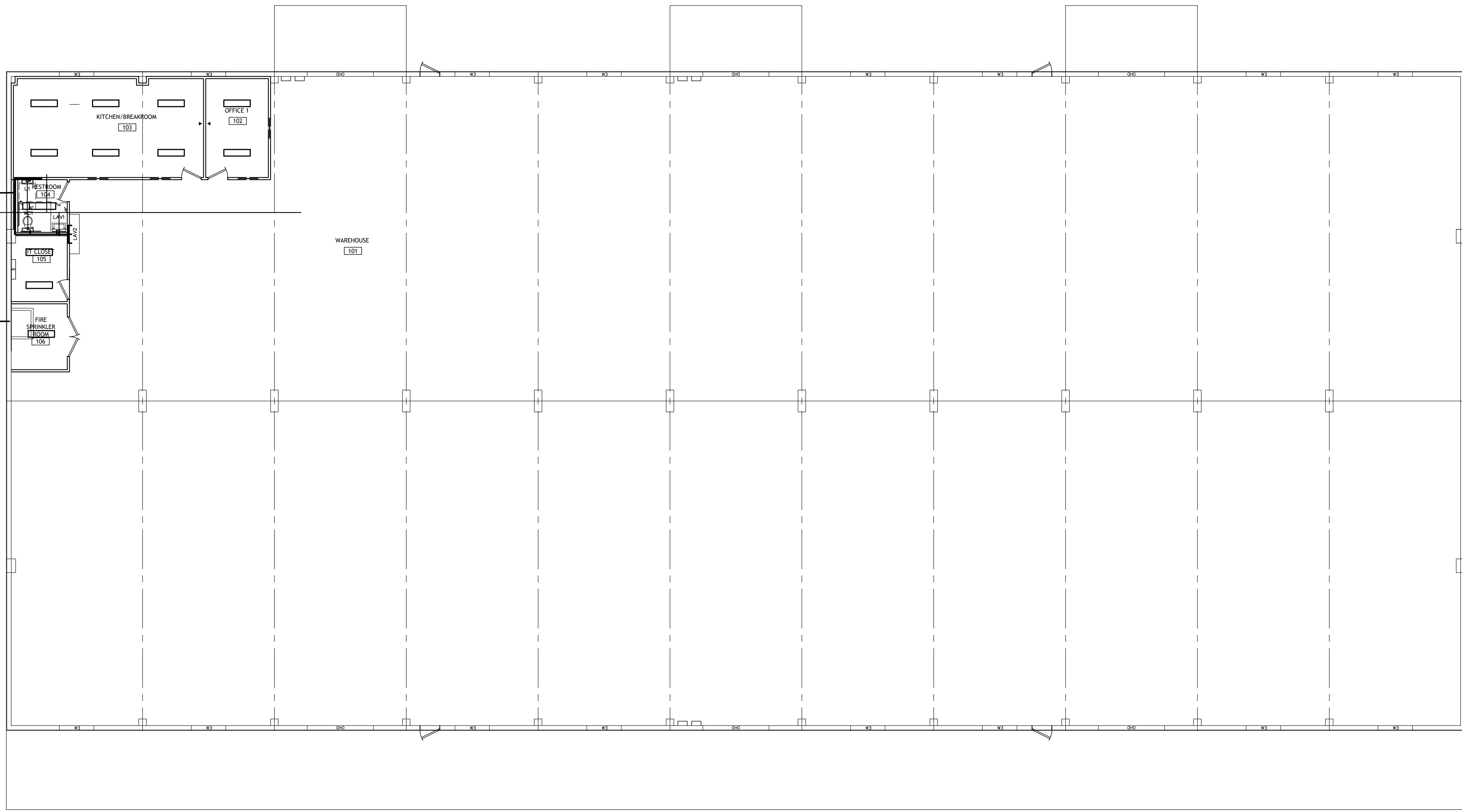
EXISTING FIRE SYSTEM PANEL

400 AMP METER

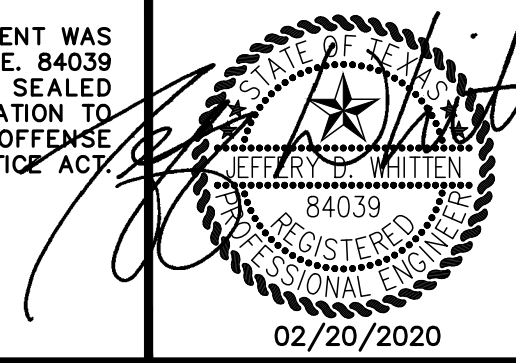
MAIN PANEL FOR PROPOSED IMPROVEMENTS.

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<p>REVISED 02.20.2020</p>	<p>02/20/2020</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">DRAWN: JDW</td> <td style="width: 25%;">DESIGN: JDW</td> <td style="width: 25%;">DATE:</td> <td style="width: 25%;">JOB #:</td> </tr> </table>	DRAWN: JDW	DESIGN: JDW	DATE:	JOB #:	<p>SCALE: 1/4"=1' - FULL 1/8"=1' - HALF</p>		
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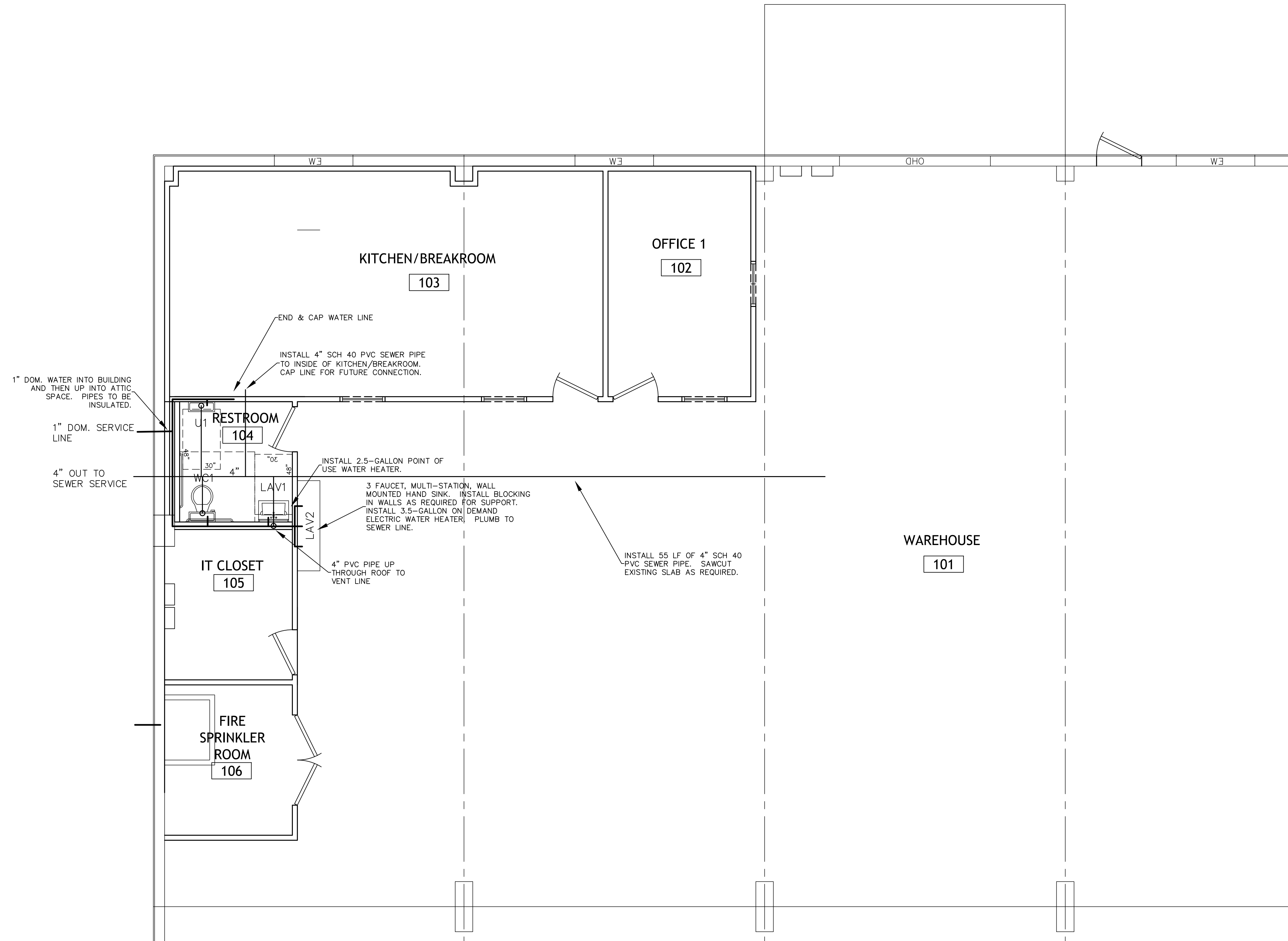


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OVERALL PLUMBING PLAN
 AREA D WAREHOUSE RENOVATIONS
 554 ELM CIRCLE
 TEXAMERICAS CENTER - EAST CAMPUS
 CITY OF HOOKS, TEXAS

SHEET NO:
P1.1

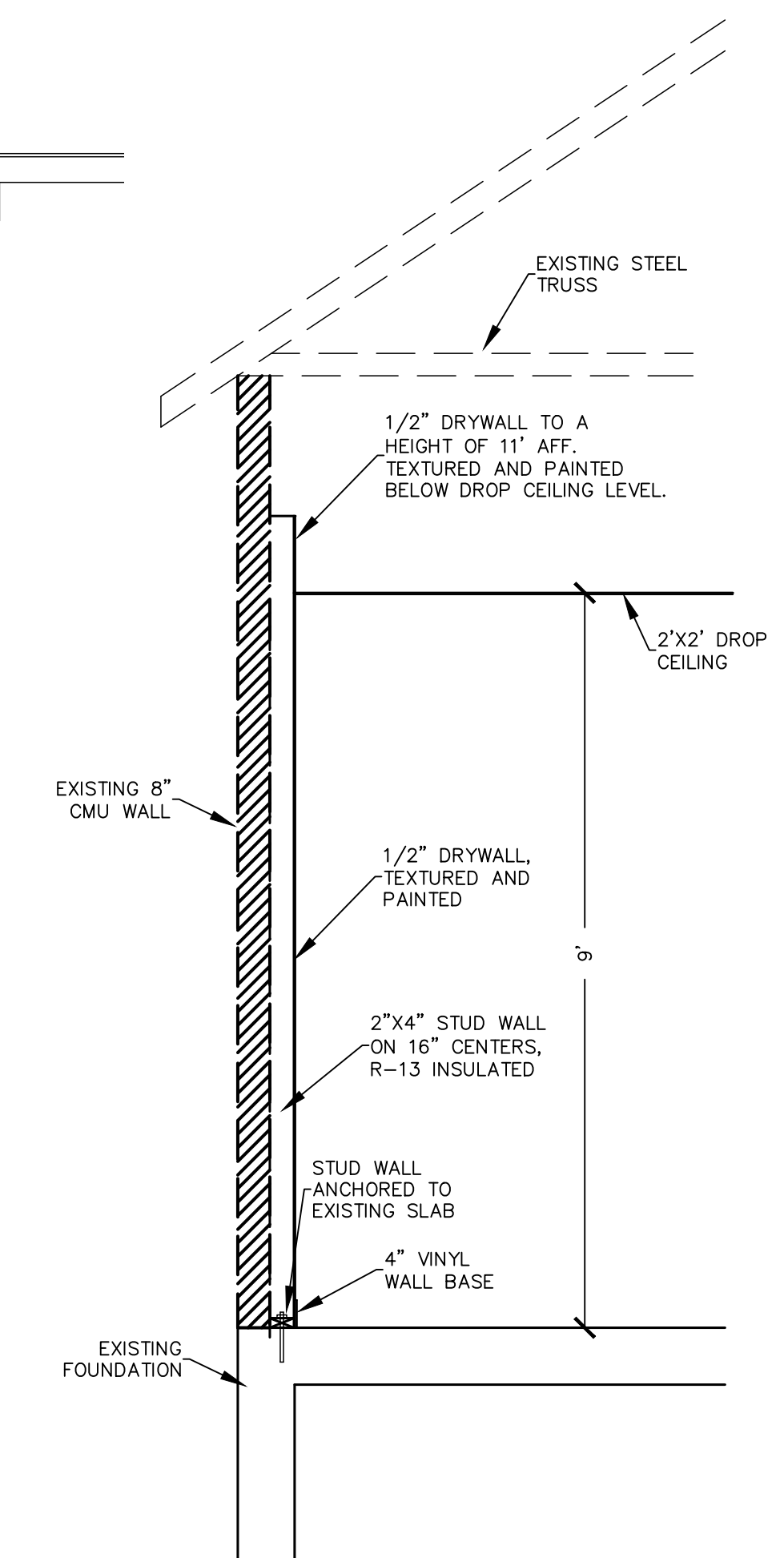
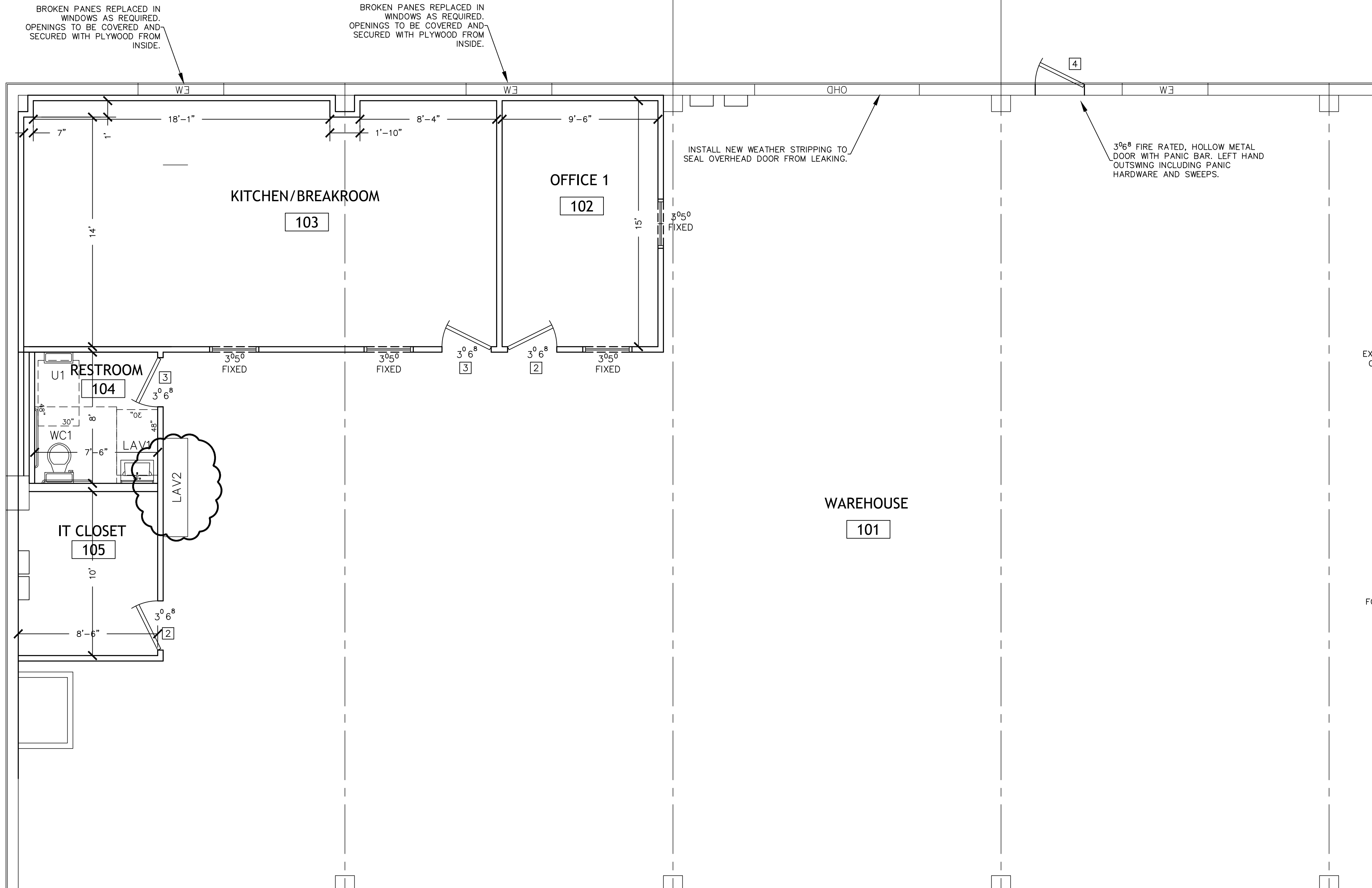
DWG NO:



PLUMBING FIXTURE SCHEDULE

ITEM	QUANTITY	DESCRIPTION
LAV1	1	AMERICAN STANDARD WALL MOUNTED SINK - WHITE
WC1	1	AMERICAN STANDARD TWO PIECE TOILET - WHITE
U1	1	AMERICAN STANDARD WALL MOUNTED URINAL - WHITE
LAV2	1	REGENCY MULTI-STATION HAND SINK - 600HSM51872 (OR EQUAL)

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<p>02/20/2020</p>	<p>84039</p>	<p>DRAWN: JDW DESIGN: JDW DATE:</p>	<p>SCALE: 1/4"=1' - FULL 1/8"=1' - HALF</p>	<p>JOB #:</p>	<p>DWG NO:</p>



- NOTES**
- EXIT DOORS SHALL BE IN CONFORMANCE WITH THE 1985 LIFE SAFETY CODE AND THE 1987 NATIONAL FIRE CODE.
 - EXIT AISLES SHALL BE MARKED IN CONFORMANCE WITH THE 1985 LIFE SAFETY CODE AND THE 1987 NATIONAL FIRE CODE.
 - EXIT LIGHTS SHALL MEET THE REQUIREMENTS OF NFPA 101, LIFE SAFETY CODE, SHALL BE VISIBLE IN WITH THE NORMAL AND EMERGENCY LIGHTING MODE AND SHALL HAVE A 1 1/2-HOUR BATTERY BACK-UP CAPABILITY OR EQUIVALENT.
 - FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCORDANCE WITH NFPA 10, PORTABLE FIRE EXTINGUISHERS, SHALL BE MOUNTED SUCH THAT THE TOP OF THE FIRE EXTINGUISHER IS 3-5 FEET ABOVE THE FLOOR AND SHALL HAVE A CURRENT INSPECTION TAG CERTIFIED BY A LICENSED TEXAS FIRE EXTINGUISHER COMPANY.
 - CONTENTS OF THE BUILDING SHALL BE ORIENTED IN SUCH A MANNER AS TO CONFORM WITH THE 1985 LIFE SAFETY CODE.
 - CONTRACTOR TO INSTALL A KNOX BOX AT THE MAIN ENTRY OF THE BUILDING. COORDINATE WITH FIRE DEPARTMENT FOR SIZE AND LOCATION.

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR		WALLS			CEILING				REMARKS
		MAT'L	FINISH	MAT'L	FINISH	FINISH INFO	MAT'L	HEIGHT	FINISH	FINISH INFO	
101	WAREHOUSE	CONC.	NA	NA	PAINT	PPG BATTLESHIP GREY	OSB	EXIST.	PAINT	PPG BATTLESHIP GREY	EXTERIOR WALLS OF NEW CONSTRUCTION
102	OFFICE 1	CONC.	NA	D.W.	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	D.W.	9'-0"	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	
103	KITCHEN/BREAKROOM	CONC.	NA	M.R.D.W.	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	M.R.D.W.	9'-0"	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	
104	RESTROOM	CONC.	NA	M.R.D.W.	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	M.R.D.W.	9'-0"	PAINT	PPG COMMERCIAL WHITE - PPG 1025-1	
105	IT CLOSET	CONC.	NA	OSB	PAINT	PPG BATTLESHIP GREY	OSB	9'-0"	PAINT	PPG BATTLESHIP GREY	

ABBREVIATIONS

H.M.	HOLLOW METAL	CT	CERAMIC TILE
S & V	STAIN & VARNISH	M.R.D.W.	MOISTURE RESISTANT DRYWALL
ALUM.	ALUMINUM	WT	WALL TILE
ANOD.	ANODIZED	VWC	VINYL WALL COVERING
D.W.	DRYWALL	A.C.T.	ACOUSTICAL CEILING TILE
VCT	VINYL COMPOSITION TILE		

DOOR SCHEDULE

DOOR No.	QUANTITY	SIZE	DETAILS
1	2	3'-0" x 6'-8"	HOLLOW METAL WITH PANIC BAR, LEFT HAND OUTSWING
2	2	3'-0" x 6'-8"	WOOD DOOR, RIGHT HAND SWING
3	2	3'-0" x 6'-8"	WOOD DOOR, LEFT HAND SWING
4	2	3'-0" x 6'-8"	HOLLOW METAL WITH PANIC BAR, LEFT HAND OUTSWING

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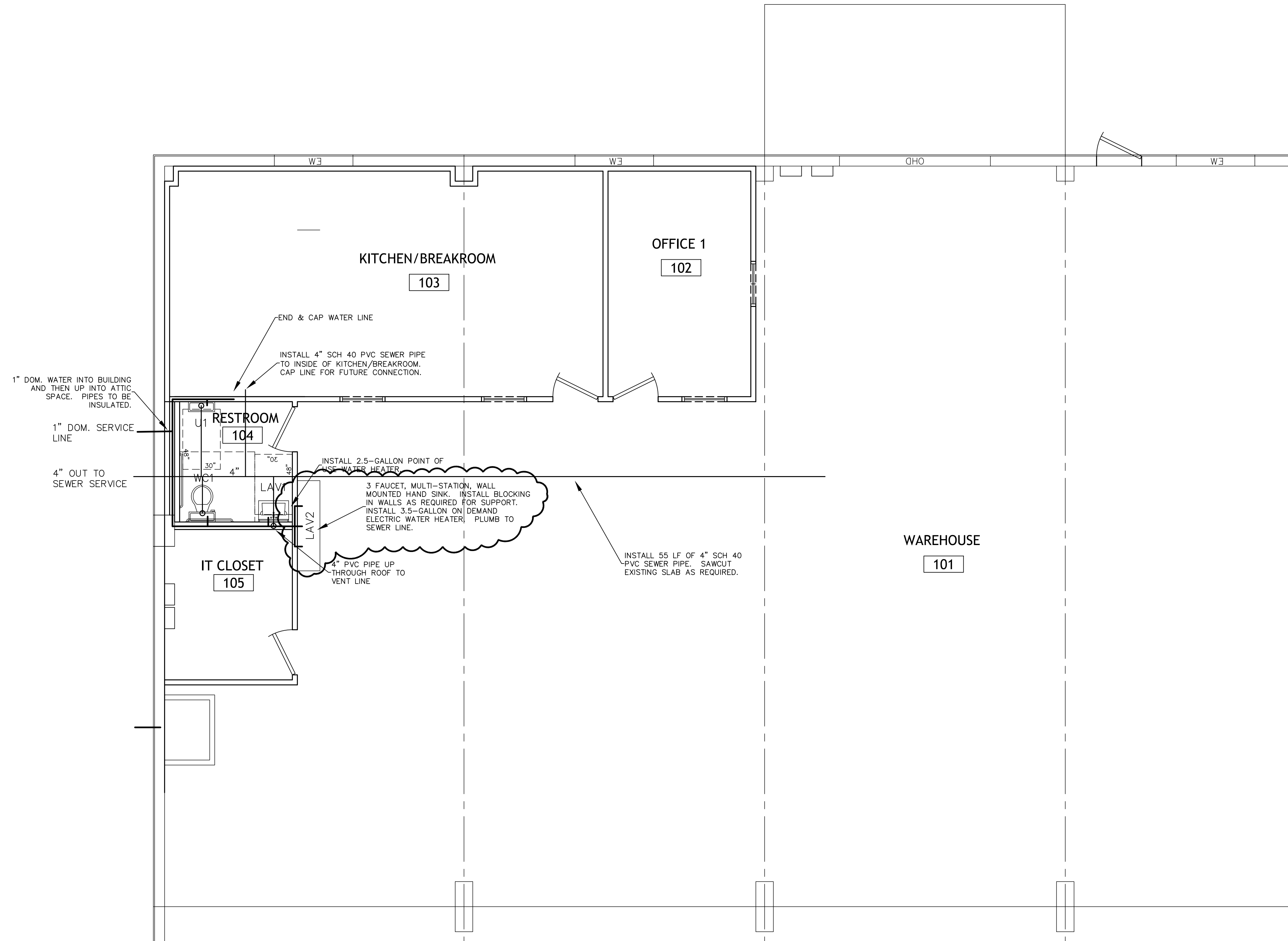
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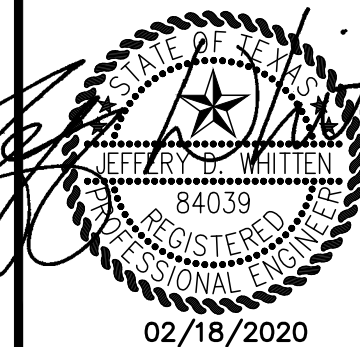
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